

APN 005-420-15

Mail Tax Statements to:

Nina P. Louden, Trustee  
440 N 16<sup>th</sup> Street  
Grand Junction, Colorado 81501

When Recorded Return to:

GERBER LAW OFFICES, LLP  
491 4<sup>th</sup> Street  
Elko, Nevada 89801

EUREKA COUNTY, NV  
LAND-GRT  
Rec:\$37.00  
Total:\$37.00  
NANCY LOUDEN

**2023-249825**  
**02/27/2023 02:10 PM**

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E07

KATHERINE J. BOWLING, CLERK RECORDER

**GRANT DEED**

FOR THE CONSIDERATION of TEN DOLLARS (\$10.00), and other valuable consideration, the receipt of which is hereby acknowledged, NANCY LOUDEN, herein referred to as Grantor, does hereby grant, bargain and sell to NINA P. LOUDEN, Successor Trustee of the LEE AND NANCY LOUDEN FAMILY TRUST, dated January 30, 2020, herein referred to as Grantee, and to her successors and assigns forever, the property and premises located in the County of Eureka, State of Nevada, described as follows:

TOWNSHIP 29 NORTH, RANGE 48 EAST, M.D.B.&M.

Section 1: NW1/4NE1/4SW1/4;

EXCEPTING THEREFROM all petroleum, oil, natural gas and products derived therefrom, within or underlying said land or that may be produced therefrom, and all rights thereto, as reserved in deed recorded September 24, 1951, in Book 24, Page 168, Deed Records of Eureka County, Nevada.

TOGETHER WITH all buildings and improvements thereon.

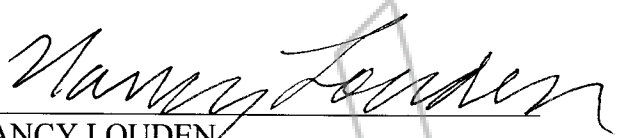
SUBJECT TO: Reservations, restrictions, conditions, rights, rights of way and easements, if any of record on said premises.

TOGETHER WITH the tenements, hereditaments, and appurtenances thereunto belonging or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof.

TO HAVE AND TO HOLD the described premises to the Grantee, and to her successors and assigns forever.

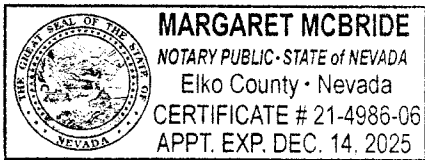
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IN WITNESS WHEREOF, the Grantor has signed this Deed this 22 day of December, 2022.

  
NANCY LOUDEN

STATE OF NEVADA       )  
                                  ):ss.  
COUNTY OF ELKO       )

This instrument was acknowledged before me on December 22<sup>nd</sup>, 2022, by NANCY LOUDEN.



  
NOTARY PUBLIC

**STATE OF NEVADA  
DECLARATION OF VALUE FORM**

**1. Assessor Parcel Number(s)**

a) 005-420-15  
b) \_\_\_\_\_  
c) \_\_\_\_\_  
d) \_\_\_\_\_

**2. Type of Property:**

a) X Vacant Land                      b) \_\_\_\_\_ Single Fam. Res.  
c) \_\_\_\_\_ Condo/Twnhse              d) \_\_\_\_\_ 2-4 Plex  
e) \_\_\_\_\_ Apt. Bldg                      f) \_\_\_\_\_ Comm'l/Ind'l  
g) \_\_\_\_\_ Agricultural                  h) \_\_\_\_\_ Mobile Home  
\_\_\_\_\_ Other \_\_\_\_\_

**FOR RECORDER'S OPTIONAL USE ONLY**

Book: \_\_\_\_\_ Page: \_\_\_\_\_

Date of Recording: \_\_\_\_\_

Notes: Trust verified BO

**3. Total Value/Sales Price of Property**

Deed in Lieu of Foreclosure Only (value of Property)

Transfer Tax Value:

Real Property Transfer Tax Due

\$ 1,081.00  
( \_\_\_\_\_ )  
\$ 1,081.00  
\$ 5.85

**4. If Exemption Claimed:**

a. Transfer Tax Exemption per NRS 375.090, Section 7

b. Explanation Reason for Exemption : A transfer of title to or from a trust without consideration if a certificate of trust is present at the time of transfer.

5. Partial Interest: Percentage being transferred: \_\_\_\_\_ %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature \_\_\_\_\_

Zachary A. Gerber

Capacity Attorney

Signature \_\_\_\_\_

Capacity \_\_\_\_\_

**SELLER (GRANTOR) INFORMATION**

**(REQUIRED)**

Print Name: Nancy Loudon

Address: 633 6<sup>th</sup> Street

City: Crescent Valley

State: Nevada Zip: 89821

**BUYER (GRANTEE) INFORMATION**

**(REQUIRED)**

Print Name: Nina P. Loudon

Address: 440 N 16<sup>th</sup> Street

City: Grand Junction

State: Colorado Zip: 81501

**COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)**

Print Name: Gerber Law Offices, LLP

Escrow #: \_\_\_\_\_

Address: 491 4<sup>th</sup> Street

City: Elko

State: Nevada Zip: 89801

AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED